

- TOWN CLERK
- ASSESSORS
- CONTRACTOR
- OWNER

# TOWN OF OLIVE

DEPARTMENT OF BUILDINGS

WEST SHOKAN, N.Y. 12494

BUILDING PERMIT  
RECEIPT

1. IDENTIFICATION OF APPLICANT

Owner: KAREN PANUCCI  
 Address: 41 LOWER SHAKER MOUNT RD.  
OLIVE BRIDGE NY 12461  
 Phone: 646-265-8433  
 Signature: Karen Panucci  
 Date: JUNE 30TH 2020  
 Fire #:

Applicant, if other than owner:  
RIK FENKELBERG Home Improvements  
 Address: 3396 ROUTE 209 FA  
STONE RIDGE NY 12484  
 Phone: 845-687-2597 845-389-3408 C  
 Signature: Rik F  
 Date: JUNE 30TH 2020  
 Interest of applicant, if other than owner:  
CONTRACTOR

Person Preparing Plan: PEAK ENGINEERING  
 Address: 3751 MAJAN ST. PO BOX 540 STONE RIDGE NY 12484 Phone: 845-687-4500

2. IDENTIFICATION OF SUBJECT PROPERTY

Location: 1242 CO RD 2  
 Tax Map Designation (if any): Section: 33.4 Block 5 Lot(s) 64  
 If subdivision, give name:  
 Lot size (acres): 0.6 acre Zoning District(s): 480 Multiple Use Building str-co Date approved:

3. State existing use and occupancy of premises and intended use and occupancy of proposed construction:

- a. Existing use and occupancy
- b. Intended use and occupancy NEW STUDIO

4. Nature of work (check when applicable): New Building  Addition \_\_\_\_\_ Alteration \_\_\_\_\_  
 Repair \_\_\_\_\_ Removal \_\_\_\_\_ Demolition  Mobil Home \_\_\_\_\_ Modular \_\_\_\_\_

5. Estimated Construction Cost \$ 175,000 Fee # 306  
 (To be paid on filing this application)

6. If dwelling, number of dwelling units \_\_\_\_\_  
 Number of dwelling units on each floor \_\_\_\_\_

If garage, number of cars \_\_\_\_\_

7. If business, commercial or mixed occupancy, specify nature and extent of each type of use:

8. If accessory building, describe use of building \_\_\_\_\_

9. a. Dimensions of existing structure, (if any): Front 24' Rear 24' Depth 40' Height 10'

b. Dimensions of proposed structure: Front 24' Rear 24' Depth 40' Height 12'

10. Is proposed construction in conflict with any zoning law, ordinance or regulation?  
NO

11. Name of Compensation Insurance and Disability Insurance:  
 Carrier: FARM FURNEL

Name of Policy: RIK FENKELBERG HOME IMPROVEMENTS FA  
 Date of Expiration: 2-14-21

12. Contractor or Homeowners Policy #: 310144047 + 310367375

13. Name of Architect (if any): SCOTT DAVES

Address: 3751 MAJAN ST. STONE RIDGE NY 12484

Phone: 845-687-4500

Name of Contractor: RIK FENKELBERG

Address: 3396 ROUTE 209 STONE RIDGE NY 12484

Phone: 845-687-2597 845-389-3408

14. Has the construction site or a portion thereof been designated as a flood hazard zone: NO

# PEAK ENGINEERING, PLLC

3751 Main Street, PO Box 540  
 Stone Ridge, NY 12484  
 (T) 845.687.4500 (F) 845.687.4545

# LETTER OF TRANSMITTAL

DATE: 23-Jun-20	PEAK#: 19206	CONTRACT:
ATTENTION: Karen Ranucci		PIN
PROJECT: Studio Plans		
at 1242 County Rt. 2 - Olivebridge		
RE:		

TO: Karen Ranucci  
41 Lower Sahler Mill  
Olivebridge, NY 12461

WE ARE SENDING YOU:  Attached  Under separate cover via \_\_\_\_\_ the following items:  
 Shop Drawings  Prints  Plans  Samples  Specifications  
 Copy of Letter  Change Order  Diskettes  Other \_\_\_\_\_

Copies	Date	No.	Description
2	6/23/2020		Building Plans
1	6/23/2020		REScheck

THESE ARE TRANSMITTED as checked below:

For approval  Approved as submitted  Resubmit \_\_\_\_\_ copies for approval  
 For your use  Approved as noted  Submit \_\_\_\_\_ copies for distribution  
 As requested  Returned for corrections  Resubmit \_\_\_\_\_ corrected prints  
 For review and comment  \_\_\_\_\_  
 FOR BIDS DUE \_\_\_\_\_  PRINTS RETURNED AFTER LOAN TO US

REMARKS:

To be picked up by contractor, Rick Finkbeiner, 6-23-2020.

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COPY TO: FILE COPY

SIGNED: *J. Russo*





# STUDIO CONSTRUCTION

site address: 1242 COUNTY RT. 2 - OLIVEBRIDGE, NY 12461  
 mailing address: 41 LOWER SAHLER MILL - OLIVEBRIDGE, NY 12461

NUMBER	NAME
1	ELEVATIONS (1 of 2)
2	ELEVATIONS (2 of 2)
3	FOUNDATION PLAN
4	FOUNDATION DETAILS
5	FIRST FLOOR PLAN
6	SECOND FLOOR FRAMING
7	ROOF FRAMING
8	GABLE END SECTION VIEWS
9	SECTION VIEW THROUGH BUILDING
10	FIRST FLOOR ELECTRICAL
11	SECOND FLOOR ELECTRICAL & PLUMBING SCHEMATIC
12	STANDARD NOTES

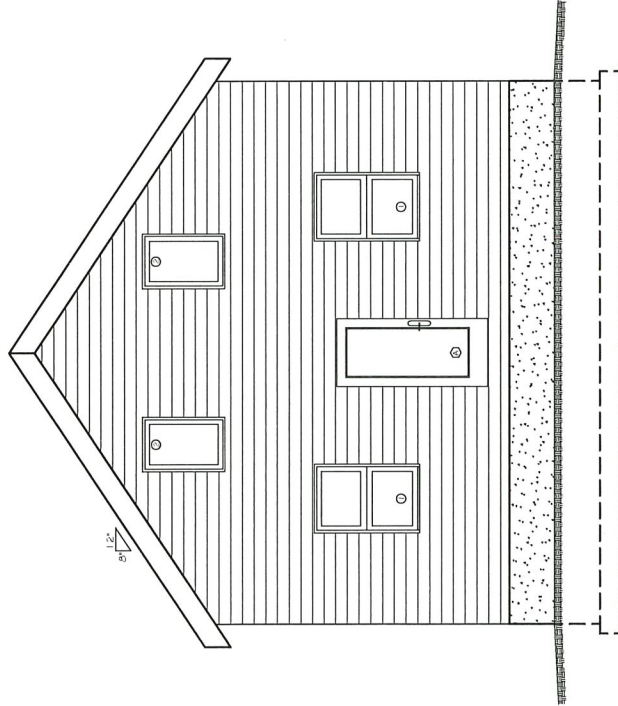
CLIMATE AND GEOGRAPHIC DESIGN CRITERIA					
GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM		ICE SHIELD UNDERLAYMENT REQUIRED
			WEATHERING	FROST DEPTH	
55	115	B	SEVERE	48"	MODERATE - HEAVY
					YES

1st FLOOR	AREA
	960 sq.ft.

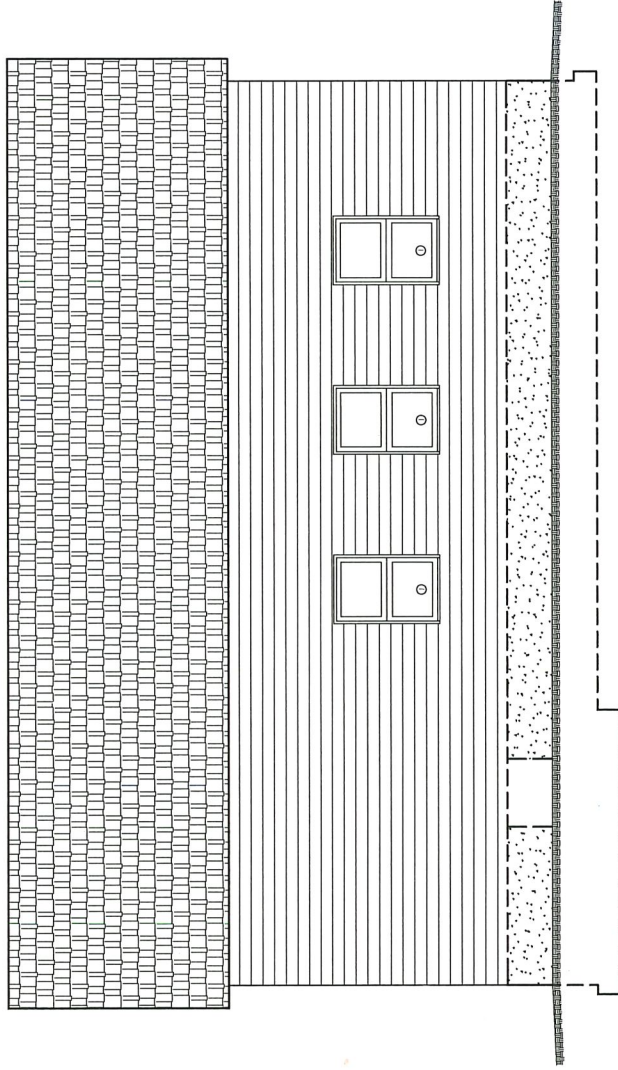
RECORD PLANS 6-23-20



PROJECT #19206



SOUTH ELEVATION  
SCALE: 3/8" = 1'-00"



WEST ELEVATION  
SCALE: 3/8" = 1'-00"

Client:

Karen Ramucci  
1242 County Rte. 2  
Olivebridge, NY

Project:

Studio Construction

Title:

Elevations (1 of 2)

Project # 19206

Date: 06/2020

Scale: As Shown

Designed By: EP

Drawn By: EP

Checked By: SD

Revised:

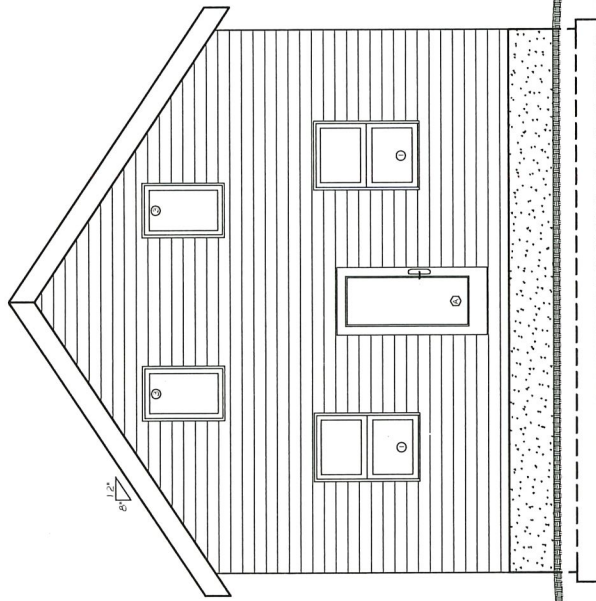
Revised:

Revised:

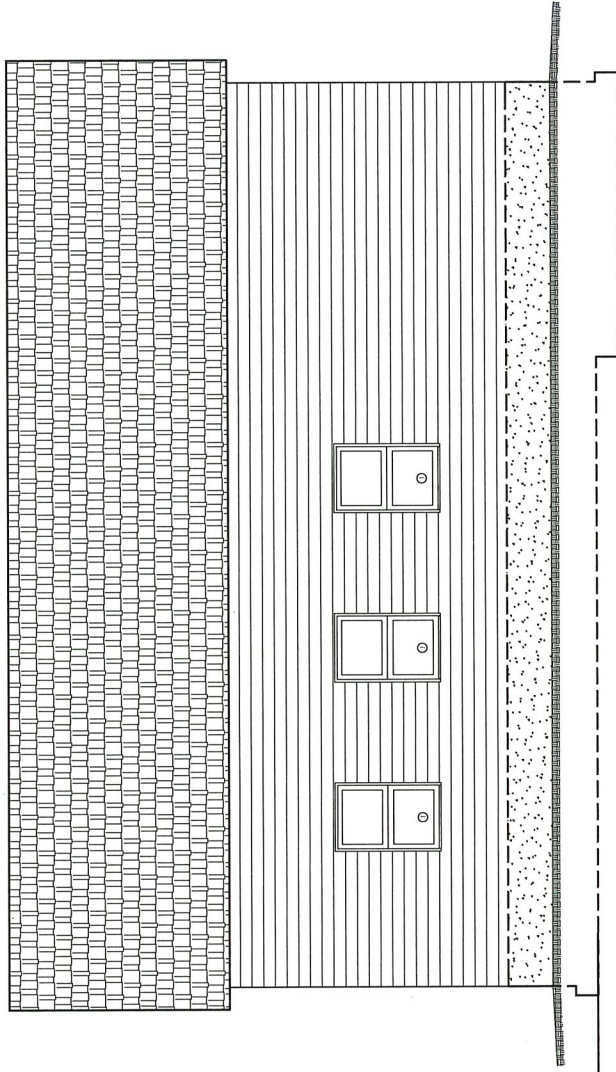
Sheet #

1

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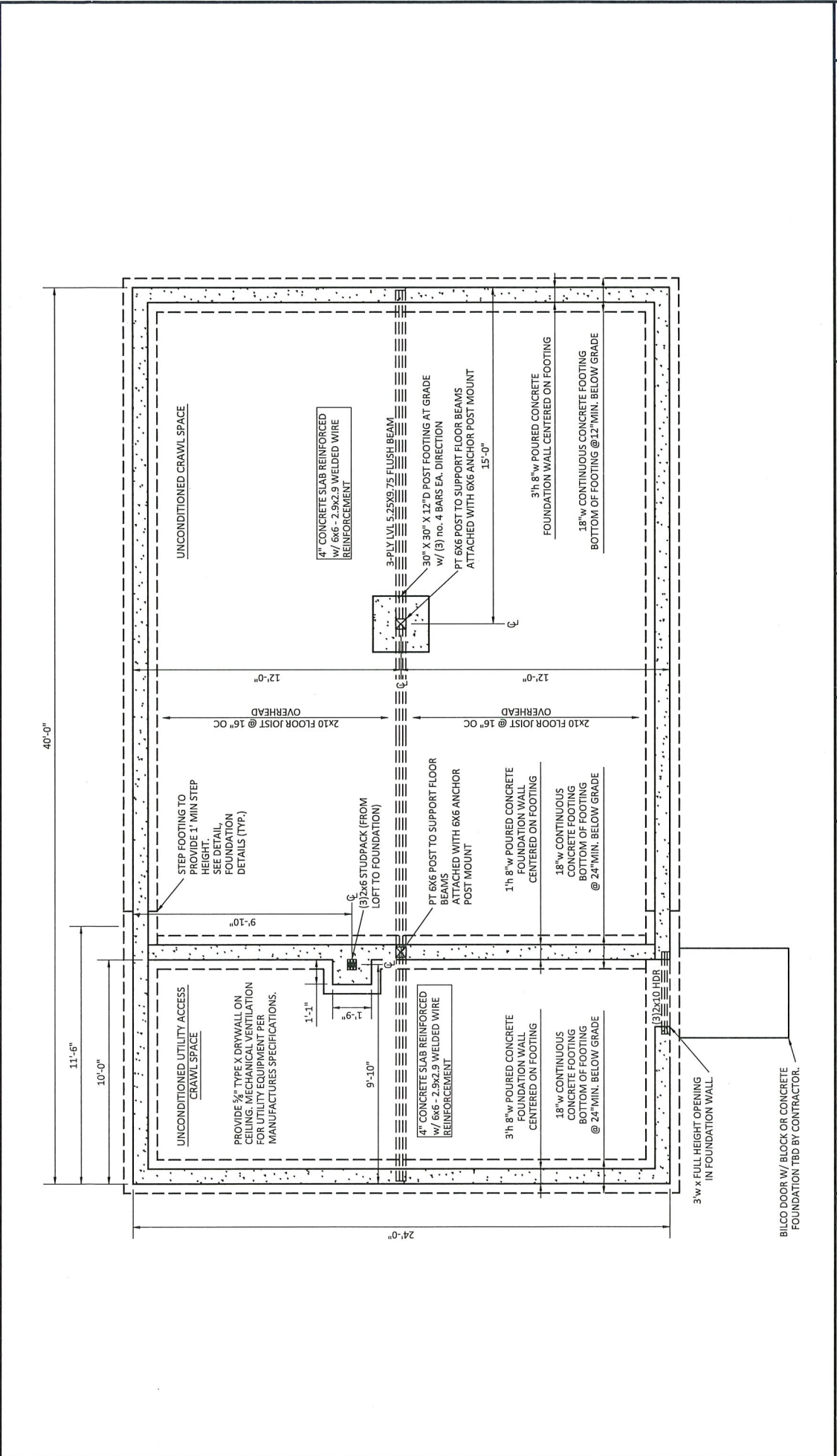
NORTH ELEVATION  
SCALE: 3/8" = 1'-00"



EAST ELEVATION  
SCALE: 3/8" = 1'-00"

Client: Karen Rannucci 1242 County Rte. 2 Olivebridge, NY	Project:	Studio Construction			Project #	19206	Designed By:	EP	Revised:	
	Title:	Elevations (2 of 2)			Date:	06/2020	Drawn By:	EP	Revised:	
				Scale:	As Shown	Checked By:	SD	Revised:		
										Sheet # <b>2</b>

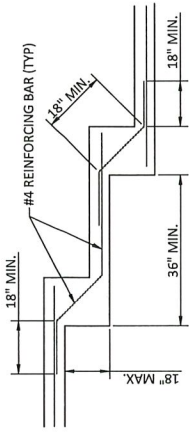
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(845) 687-4500



Client: Karen Ramicci 1242 County Rte. 2 Olmbridge, NY	Project: Studio Construction		Project # 19206	Designed By: EP	Revised:	Sheet # <b>3</b>
	Title: Foundation Plan		Date: 06/2020	Drawn By: EP	Revised:	
			Scale: 1/4" = 1'-0"	Checked By: SD	Revised:	

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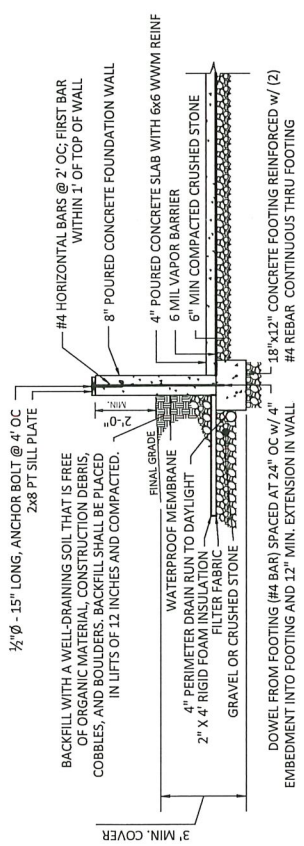
**NOTES:**

1. THE MINIMUM FOOTING THICKNESS IN STEPPED AREAS SHALL EQUAL THAT IN UNSTEPPED AREAS.
2. THE REINFORCING BAR SIZE IN STEPPED AREAS SHALL EQUAL THE BAR SIZE IN UNSTEPPED AREAS.
3. A MINIMUM OF 3 INCHES OF CONCRETE IS REQUIRED AROUND ALL REINFORCING BARS.

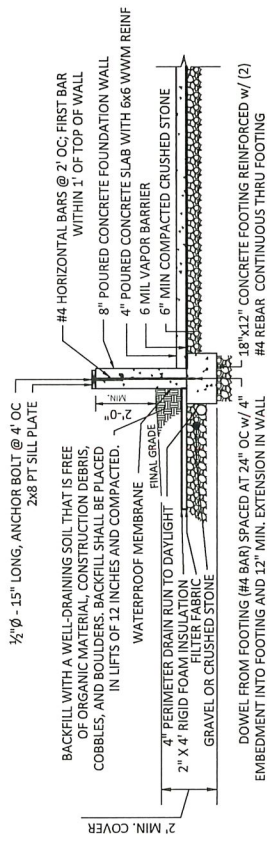
**STEPPED FOOTING - TYPICAL REINFORCEMENT DETAIL**  
SCALE: 3/4" = 1'-00"

**FOUNDATION NOTES:**

1. WRITTEN DIMENSIONS ON THE PLANS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
2. SOIL CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR. THE PRESUMPTIVE BEARING CAPACITY IS 2500 PSF.
3. ALL WALLS AND SLABS SHALL BE PLACED ON TAMPED VIRGIN SOIL OR COMPACTED FILL.
4. FILL AROUND THE FOUNDATION WALL IS TO PITCH AWAY FROM BUILDING 6 INCHES OVER THE FIRST 10 FEET.
5. ALL CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH AT 28-DAYS OF 3000 PSI.
6. FOUNDATION SHALL HAVE A MINIMAL 8" OF EXPOSURE ABOVE FINAL GRADE.
7. ALL WOOD BEARING ON CONCRETE OR MASONRY OR WITHIN 8" FROM THE GROUND SURFACE SHALL BE PRESSURE TREATED.
8. FIRST FLOOR DECK SHALL BE FRAMED AND SHEATHED PRIOR TO BACKFILLING FOUNDATION WALLS.
9. REMOVE ALL TREES AND PLANTS, INCLUDING ROOTS, WITHIN 5 FEET OF FOUNDATION.
10. REBAR TO BE BONDED TOGETHER WITH STEEL WIRES AND CONNECTED TO A GROUNDING ELECTRODE SYSTEM PER 2015 IBC [ADOPTED BY NEW YORK STATE] SECTION E3508.1.2.
11. PEAK ENGINEERING, PLLC ASSUMES NO RESPONSIBILITY FOR ANY CHANGES, ERRORS, OMISSIONS, OR DEVIATIONS BY THE OWNER OR CONTRACTOR, EITHER INTENTIONAL OR ACCIDENTAL.



**UTILITY ACCESS CRAWL SPACE FOUNDATION DETAIL**  
SCALE: 3/4" = 1'-00"



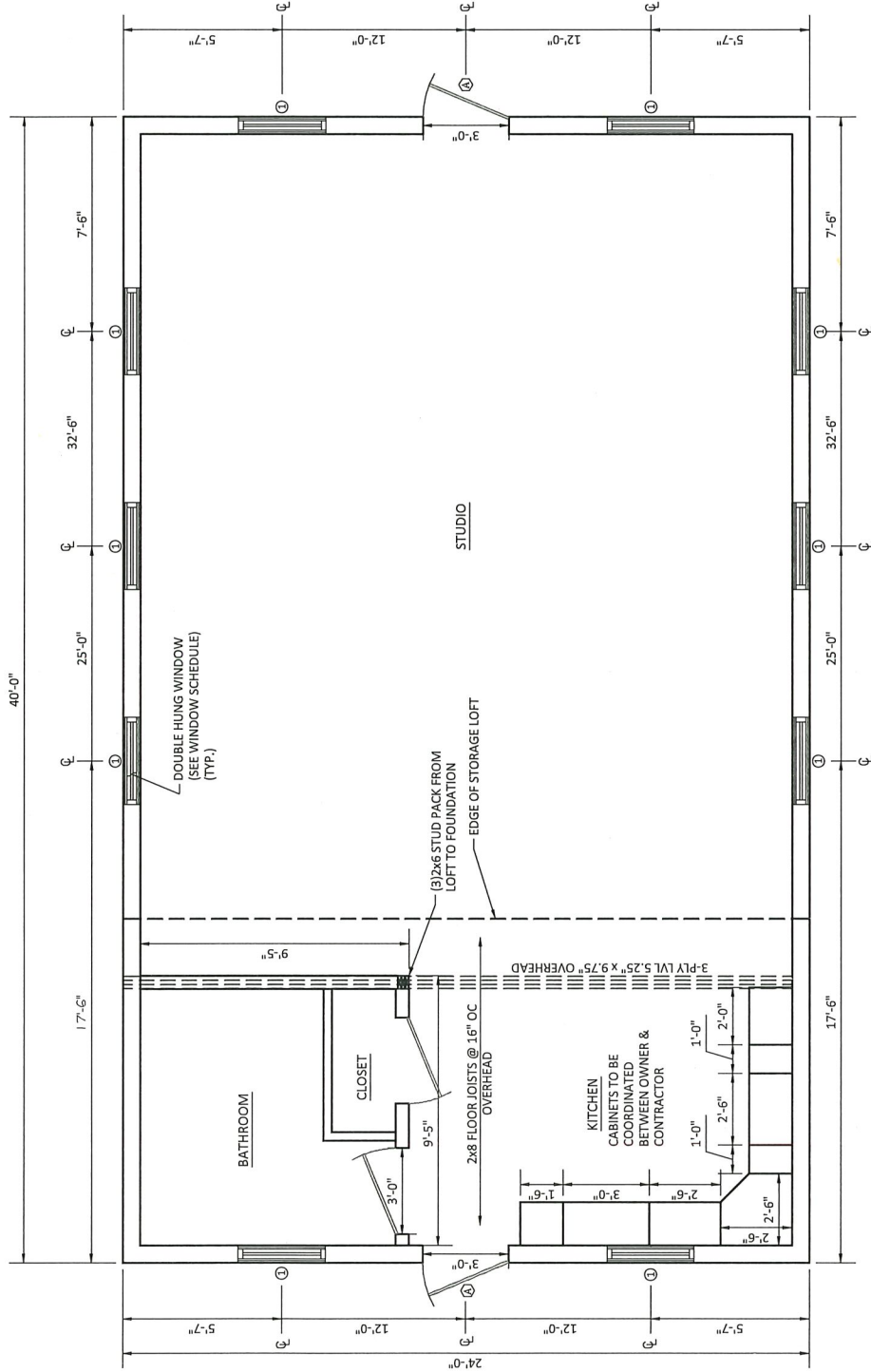
**CRAWL SPACE FOUNDATION DETAIL**  
SCALE: 3/4" = 1'-00"

Client: Karen Rannucci 1242 County Rte. 2 Olivebridge, NY	Project # 19206	Designed By: EP	Revised:	Sheet # <b>4</b>
	Date: 06/2020	Drawn By: EP	Revised:	
Title: Foundation Details	Scale: As Shown	Checked By: SD	Revised:	3751 Main Street PO Box 540 Stone Ridge, NY 12484 (845) 687-4500 ENGINEERING
	Project: Studio Construction	Scale: As Shown	Revised:	

WINDOW SCHEDULE		MIN. ROUGH OPENING (WxH)		HEADER		JACK STUDS	
SYMBOL	QUANTITY	MODEL#	TYPE	MIN. ROUGH OPENING (WxH)	HEADER	JACK STUDS	JACK STUDS
1	10	ELDH 3660 E	DOUBLE HUNG	3'-0 1/2" x 5'-0 1/4"	(2) 2x10	2	2
2	2	ELCA 2943 E	CASEMENT	2'-5" x 3'-7 1/4"	(2) 2x8	2	2
3	2	ELCAP 2943	FIXED CASEMENT	2'-5" x 3'-7 1/4"	(2) 2x8	2	2
4	4	PER OWNER/CONTRACTOR	SKYLIGHT	PER MANUFACTURER	(2) 2x12	2	2

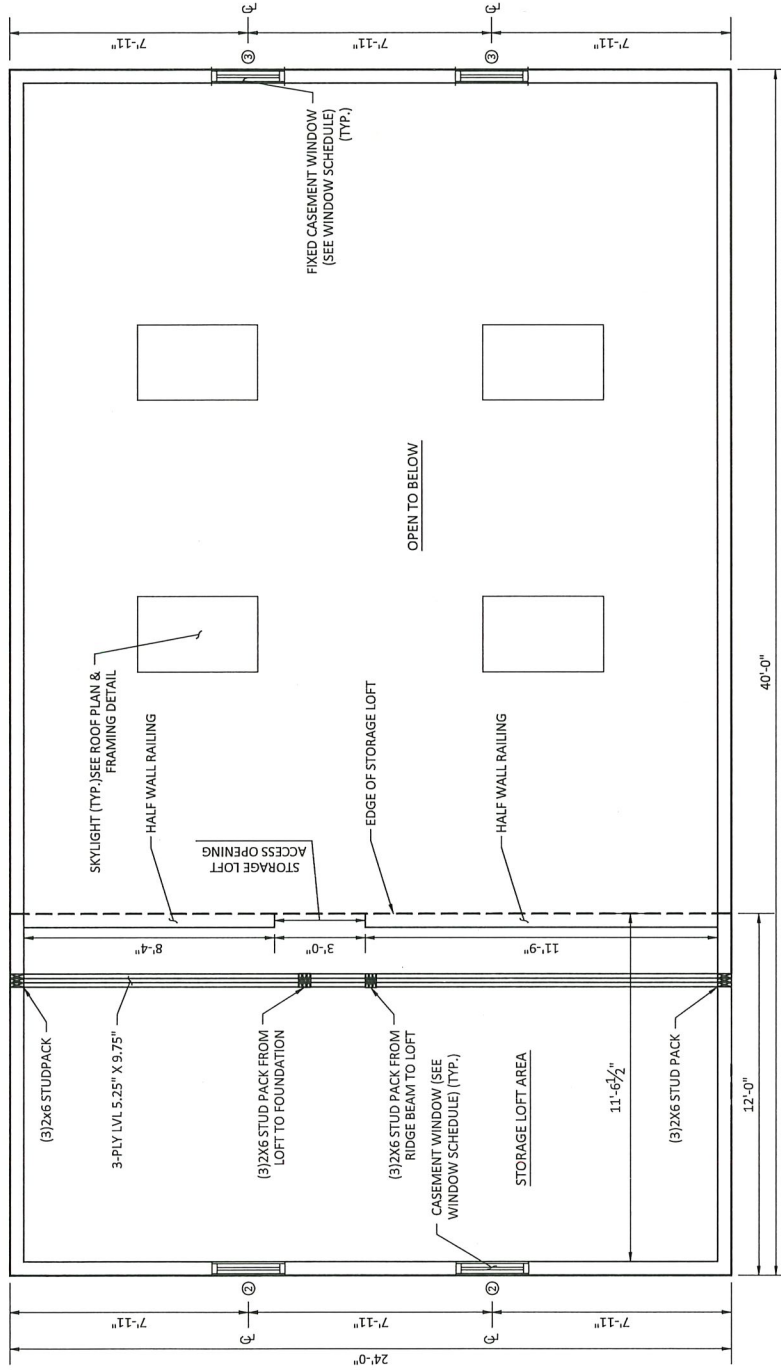
WINDOWS & DOORS TO BE MARVIN ELEVATE COLLECTION  
E DENOTES EGRESS

DOOR SCHEDULE		MINIMUM ROUGH OPENING (WxH)		HEADER		JACK STUDS	
SYMBOL	QUANTITY	MODEL#/TYPE	MINIMUM ROUGH OPENING (WxH)	HEADER	JACK STUDS	HEADER	JACK STUDS
A	2	3068 ENTRY DOOR PER OWNER/CONTRACTOR	PER MANUFACTURER	(3) 2x10	2	(3) 2x10	2



Client:	Karen Ranucci 1242 County Rte. 2 Olivebridge, NY		Project:	Studio Construction		Project #	19206	Designed By:	EP	Revised:	
	Title:	First Floor Plan		Date:	06/2020		Drawn By:		EP		Checked By:
Sheet #		3751 Main Street PO Box 540 Stone Ridge, NY 12484 (845) 687-4500 ENGINEERING		PEAK		5					





Sheet #  
6

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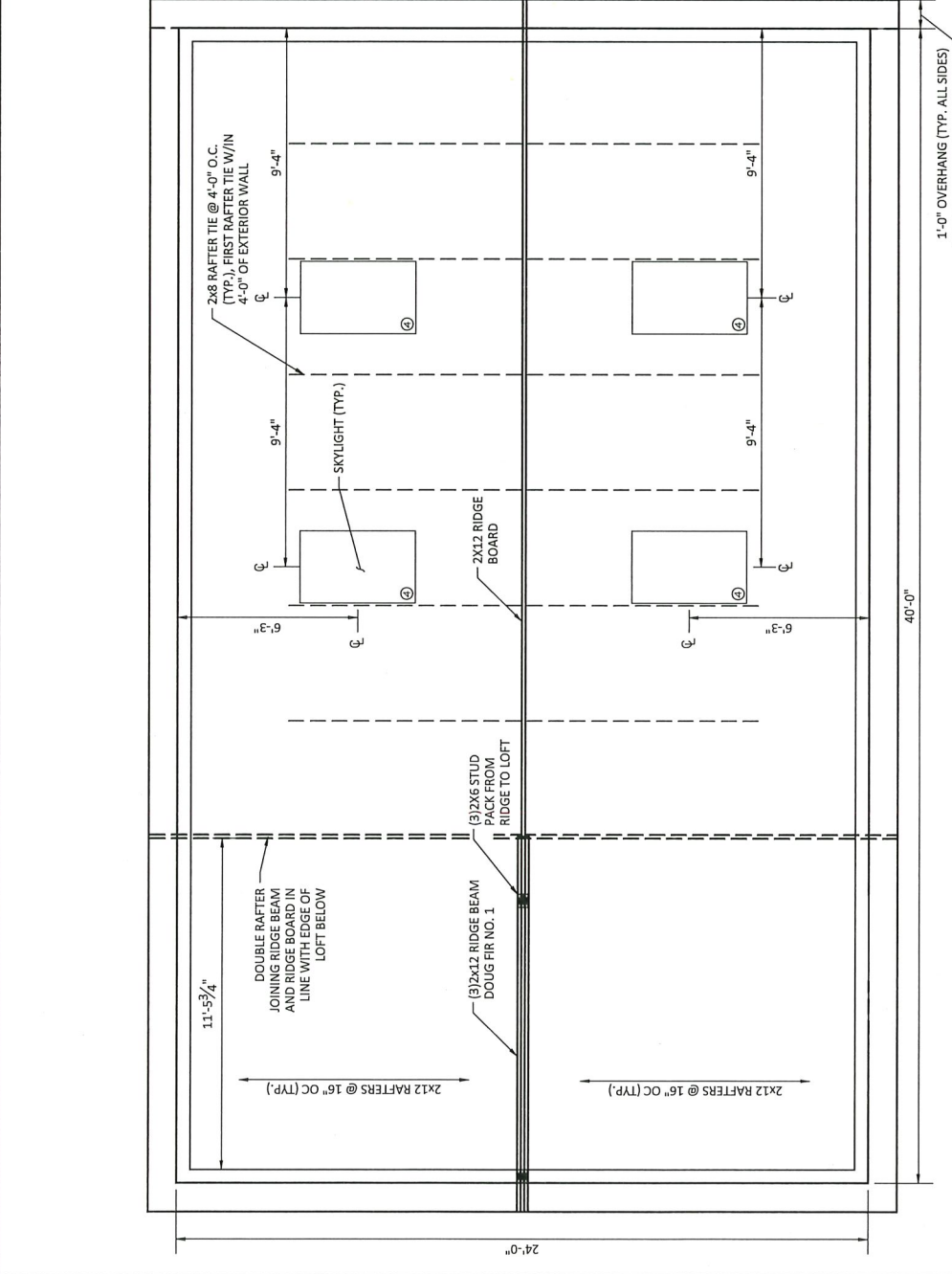
Revised:	EP
Revised:	EP
Revised:	SD

Project #	19206
Date:	06/2020
Scale:	1/4" = 1'-0"

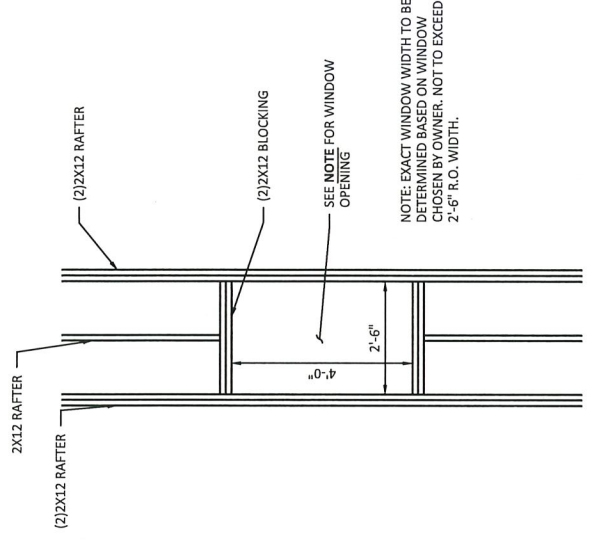
Designed By:	EP
Drawn By:	EP
Checked By:	SD

Project: Studio Construction  
Title: Second Floor Framing

Client:  
Karen Ranucci  
1242 County Rte. 2  
Olivebridge, NY

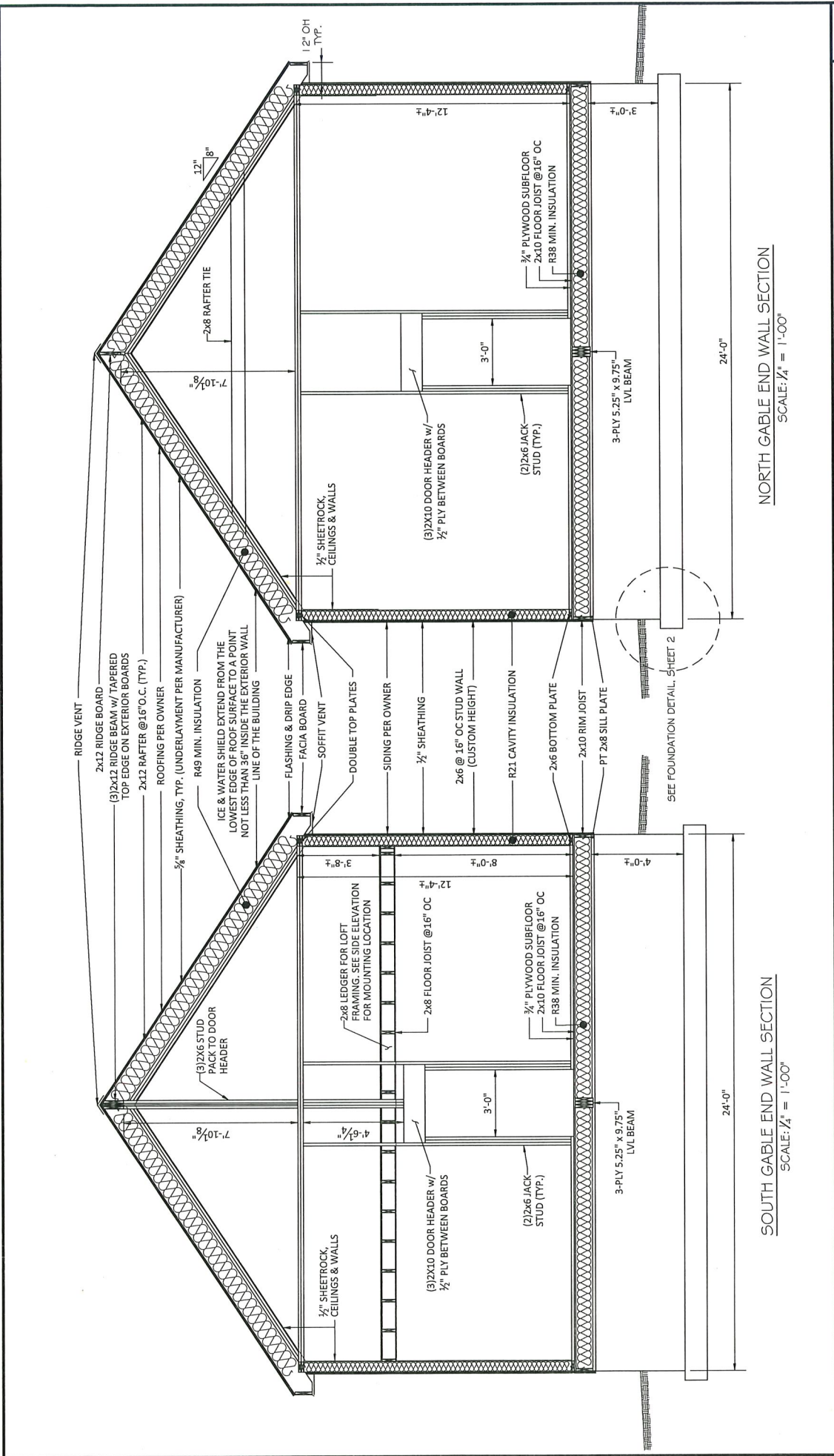


ROOF PLAN  
SCALE: 1/4" = 1'-00"



SKYLIGHT FRAMING DETAIL  
SCALE: 3/8" = 1'-00"

Client:	Project: Studio Construction		Project # 19206	Designed By: EP	Revised:	Sheet # <b>7</b>
	Title: Roof Plan		Date: 06/2020	Drawn By: EP	Revised:	
Karven Rannucci 1242 County Rte. 2 Olivebridge, NY		Scale: As Shown	Checked By: SD	Revised:	3751 Main Street PO Box 540 Stone Ridge, NY 12484 (845) 687-4500 <b>PEAK</b> ENGINEERING	



NORTH GABLE END WALL SECTION  
SCALE: 1/4" = 1'-00"

SOUTH GABLE END WALL SECTION  
SCALE: 1/4" = 1'-00"

Client: Karen Ramacci 1242 County Rte. 2 Olivebridge, NY	Project: Studio Construction		Project # 19206	Designed By: EP	Revised:	Sheet # <b>8</b>
	Title: Gable End Section Views		Date: 06/2020	Drawn By: EP	Revised:	
			Scale: As Shown	Checked By: SD	Revised:	

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